

**SAMPLE
STORMWATER MANAGEMENT PERMIT APPLICATION
SECTION I**

Attention: If you, as a property owner, are planning to construct any type of structure or improvement to your property (patio, driveway, etc.) that will impact the stormwater runoff leaving your property, then you must comply with Municipal Stormwater Management Ordinance No. 2011-_____. Completion of this form will allow the staff to guide you through the associated regulations.

Step 1: Complete the project information

Project Information: Property Owner: _____

Property Address: _____

Contact Information:

Daytime Phone Number: _____

Email Address: _____

Check box for the preferred method of communication above

Proposed Development (Please provide information regarding size, type, distance from property lines and existing site features, etc):

Have any other exterior improvements been completed on the property since _____ (Date of adoption of SWM Ordinance)? If so please list the projects and permit numbers _____.

Step 2: Provide sketch of property with property lines, existing improvements and proposed improvements.

Step 3: Return this form and sketch to the Building Permit Officer.

Review of this form will allow the Building Permit Officer to determine what requirements of the Stormwater Management Ordinance apply to your project. The Building Permit Officer will contact you at the phone number or email address indicated above once the internal review has been completed (typically within two days) and the application can then be finalized.

This meeting should occur before completing Section II of the Application.

**SAMPLE
STORMWATER MANAGEMENT PERMIT APPLICATION
SECTION II**

Read, sign and date the application below to acknowledge and accept the requirements (including construction requirements and associated administrative items) outlined and reviewed with the Building Permit Officer.

I understand and agree to the following:

1. I will be required to construct all improvements and associated stormwater management facilities in accordance with the attached plans and details.
2. Any exemption, permit, or authorization issued or approved based on false, misleading or erroneous information provided by an applicant is void without the necessity of any proceedings for revocation. Any work undertaken or use established pursuant to such permit or other authorization is unlawful. No action may be taken by a board, agency or employee of the Municipality purporting to validate such a violation.
3. Upon presentation of proper credentials, the Township may enter at reasonable times upon any property to inspect the condition of the stormwater structures and facilities in regard to any aspect regulated by this Ordinance.
4. Proper management of stormwater runoff associated with this permit is the responsibility of the property owner.

Print Name

Signature

Date

Municipal Use Only:

Existing Impervious Area on Property (Prior to this Application): _____ ft² (Copy previous permits)

New Impervious Area (Result of this Application): _____ ft² (summarized in Step 1 of Section III)

Total Impervious Area _____ ft²

Project Fees:

\$ _____ (see fee schedule)

Paid by Applicant

Project Application is:

Exempted from SWM Site Plan (Section 302.A, C, D): _____ (Refer to Step 2 of Section III)

Partially exempted and approved. Required Submittals attached (Section 302.B or Equivalent DIA): _____ (Refer to Step 2 of Section III)

Project is approved (Required Submittals attached): _____

SWM Permit No. _____

Municipal Official

Signature

Date

SECTION III

Guidance Document for Township Staff on Proper Stormwater Management

Act 167 requires all Municipalities to adopt a Stormwater Management Ordinance in accordance with York County Integrated Water Resources Plan. Therefore, all regulated activities within the Municipality should comply with the Municipality's SWM Ordinance No. _____. To accomplish this goal, all regulated activities should be reviewed in accordance with this Guidance Document.

Step 1: Property owner proposes:

New Pavement (Parking area, driveway) _____ SF

New Building (Shed, Garage, Addition) _____ SF

Sidewalk or Patio (Concrete, Brick) _____ SF

Changing the ground surface/cover (Clearing a wooded lot, converting a meadow area to yard) _____ SF

Farming Activities (not new buildings or impervious) – If in compliance with Chapter 102, exempted.

Timber Activities - If in compliance with Chapter 102, exempted.

Step 2: After the applicant completes and returns Section 1 of the Application. Complete the following to see what requirements apply to the Regulated Activity:

1. Go to York County's Tax Assessment website located at <http://gis.york-county.org/MapData.aspx>. Find the property in question. Change the map view to the aerial image and print out a copy. Have the property owner label the Regulated Activity and locational information (distance from existing site features and property lines, flow direction, etc.) on the printout.
2. Determine if the proposed project qualifies as a Disconnected Impervious Area (DIA) in accordance with Appendix B of the Ordinance.
 - a. Check all that apply.
 - i. For Structures:
 1. Less than 500ft² draining to individual downspouts. ____ Yes ____ No (if No consult municipal engineer)
_____ SF (Downspout 1) _____ SF (Downspout 2)
 - a. *Check site map created above.*
 2. Type D Soils ____ Yes ____ No (if Yes consult municipal engineer)
 - a. *Check soils map, or check Property Management Program, or check Soil Survey website.*
 3. 75' Pervious flow path provided? _____ ft (if No an equivalent DIA approach must be taken)
 - a. *Check site map created above. The pervious flow path should consist of vegetated areas (grass, meadow, etc.) and be completely contained within the property of the Regulated Activity.*
 4. Flow path < 5% slope? _____% (if >5% an equivalent DIA approach must be taken)
 - a. *Property owner knows slope or field verify.*
 - ii. For Pavement/Patio/At-grade Impervious Areas:
 1. Length of impervious area is less than 75' ____ Yes ____ No (if No consult municipal engineer)
 - a. *Check site map created above. The pervious flow path should consist of vegetated areas (grass, meadow, etc.) and be completely contained within the property of the Regulated Activity.*

- 2. Pervious flow path is greater than length of impervious ____ Yes ____ No (if No consult municipal engineer)
 - a. *Check site map created above.*
- 3. No Type D Soils ____ Yes ____ No (if Yes consult municipal engineer)
 - a. *Check soils map, or check Property Management Program, or check Soil Survey website.*
- 4. Impervious and Pervious Flow Path < 5% slope (if No consult municipal engineer)
 - a. *Property owner knows slope or field verify.*

iii. If project meets all provisions of Sections i. or ii. then the project is a **DIA**

iv. If none, or only a portion, of the provisions of Section i. and ii. are met, the project is **Not a DIA.**

b. If **DIA** and:

i. Less than 1,000 ft²

- 1. Exempt from SWM Site Plan and Rate Control.
- 2. Project can be constructed without Municipal review and approval.
- 3. Applicant should be aware that stormwater runoff is their responsibility and if a problem arises in the future, they will be required to remediate it.

ii. Greater than 1,000ft² and less than 5,000ft²

- 1. Exempt from Peak Rate Control
- 2. SWM Site Plan should be submitted. See requirements in c.i below.

c. If **not DIA** and;

i. Less than 5,000 ft²

1. Qualifies as Equivalent DIA Project

a. Applicant shall submit:

i. Site Plan (Sample - Attachment A)

1. *Expand the Site Map to show the proposed stormwater facilities.*

ii. Design (Sample - Attachments B1 through B3)

1. *These facilities should be installed to control stormwater runoff. The location and size of the facility should be indicated on the Simple Site Plan.*

iii. Calculations (See Samples)

1. *Sample calculations include a spreadsheet that can be completed for a more variable design. For basic design, use the sample Design Table .*

iv. Easement in accordance with 501.B

1. *Each municipality should have their solicitor develop an easement. At a minimum, the easement should serve to ensure that the SWM facility is kept in place for as long as the regulated activity exists as well as allow for Municipal access for inspection and if required, maintenance and repair.*

v. O&M Agreement in accordance with 502 (Sample - Attachment F)

vi. O&M Plan in accordance with 501.C (Sample - Attachment G)

vii. Inspection Form (Sample - Attachment H)

1. *This will need to be completed by the property owner on a defined basis and submitted to the Municipality to ensure the proposed facility is working as designed.*

SAMPLE
OPERATION AND MAINTENANCE (O&M) AGREEMENT
STORMWATER MANAGEMENT BEST MANAGEMENT
PRACTICES (SWM BMPs)

THIS AGREEMENT, made and entered into this _____ day of _____,
20____, by and between _____,
(hereinafter the "Landowner"), and _____,
County, Pennsylvania, (hereinafter "Municipality");

WITNESSETH

WHEREAS, the Landowner is the owner of certain real property located at _____
_____ and as recorded by deed in the land records of _____
County, Pennsylvania, Deed Book _____ at page _____, (hereinafter "Property").

WHEREAS, the Landowner is proceeding to build and develop the Property; and

WHEREAS, the SWM BMP Operation and Maintenance (O&M) Plan approved by the Municipality (hereinafter referred to as the "O&M Plan") for the property identified herein, which is attached hereto as Appendix A and made part hereof, as approved by the Municipality, provides for management of stormwater within the confines of the Property through the use of BMPs; and

WHEREAS, the Municipality, and the Landowner, his successors and assigns, agree that the health, safety, and welfare of the residents of the Municipality and the protection and maintenance of water quality require that on-site SWM BMPs be constructed and maintained on the Property; and

WHEREAS, the Municipality requires, through the implementation of the SWM Site Plan, that SWM BMPs as required by said SWM Site Plan and the Municipal Stormwater Management Ordinance be constructed and adequately operated and maintained by the Landowner, successors, and assigns.

NOW, THEREFORE, in consideration of the foregoing promises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. The Landowner shall construct the BMPs in accordance with the plans and specifications identified in the SWM Site Plan.
2. The Landowner shall operate and maintain the BMPs as shown on the SWM Plan in good working order in accordance with the specific operation and maintenance requirements noted on the approved O&M Plan.
3. The Landowner hereby grants permission to the Municipality, its authorized agents and employees, to enter upon the property, at reasonable times and upon presentation of proper credentials, to inspect the BMPs whenever necessary. Whenever possible, the Municipality shall notify the Landowner prior to entering the property.
4. In the event the Landowner fails to operate and maintain the BMPs per paragraph 2., the Municipality or its representatives may enter upon the Property and take whatever action is deemed necessary to maintain said BMP(s). It is expressly understood and agreed that the Municipality is under no obligation to maintain or repair said facilities, and in no event shall this Agreement be construed to impose any such obligation on the Municipality.

5. In the event the Municipality, pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner shall reimburse the Municipality for all expenses (direct and indirect) incurred within ten (10) days of receipt of invoice from the Municipality.
6. The intent and purpose of this Agreement is to ensure the proper maintenance of the onsite BMPs by the Landowner; provided, however, that this Agreement shall not be deemed to create or affect any additional liability of any party for damage alleged to result from or be caused by stormwater runoff.
7. The Landowner, its executors, administrators, assigns, and other successors in interests, shall release the Municipality from all damages, accidents, casualties, occurrences, or claims which might arise or be asserted against said employees and representatives from the construction, presence, existence, or maintenance of the BMP(s) by the Landowner or Municipality.
8. The Municipality may inspect the BMPs at a minimum of once every three (3) years to ensure their continued functioning. Optionally, at its sole discretion, the Municipality may inspect the BMPs at more or less frequent intervals.

This Agreement shall be recorded at the Office of the Recorder of Deeds of _____ County, Pennsylvania, and shall constitute a covenant running with the Property and/or equitable servitude, and shall be binding on the Landowner, his administrators, executors, assigns, heirs, and any other successors in interests, in perpetuity.

ATTEST:

WITNESS the following signatures and seals:

(SEAL) For the Municipality:

For the Landowner:

ATTEST:

_____(City, Borough, Township)

County of _____, Pennsylvania

I, _____, a Notary Public in and for the county and state aforesaid, whose commission expires on the _____ day of _____, 20____, do hereby certify that _____ whose name(s) is/are signed to the foregoing Agreement bearing date of the _____ day of _____, 20____, has acknowledged the same before me in my said county and state.

GIVEN UNDER MY HAND THIS _____ day of _____, 20____.

NOTARY PUBLIC

(SEAL)

Sample O & M Plan for Equivalent DIA Regulated Activities

*For Seepage Beds and Trenches only. All other facilities will need an Inspection Form developed by the property owner.

Construction:

1. Install erosion and sedimentation control facilities.
2. Stormwater Management Facility (ies) shall be installed before impervious areas are completed. If earthwork is involved during the construction of the impervious area, then extreme caution shall be taken so that sediment does not wash into the SWM Facility (ies).
3. Mark the locations of the SWM facility (ies).
4. Excavate the SWM Facility to the required depth. Contact municipality for inspection prior to filling. If standing water is encountered, a SWM Site Plan may need to be submitted; contact Municipal Engineer. All excavated materials shall be removed from the site or stabilized.
5. Line excavation with Geotextile.
6. Backfill SWM Facility with required stone. If required: Install piping, cleanouts and associated facilities as detailed.
7. If required: Close geotextile material over stone bedding.
8. If required: Place topsoil over trench.
9. Stabilize and seed all disturbed areas.

Maintenance

1. The SWM Facility shall be checked regularly to ensure that no standing water exists in the facility after 3 days of a rain event.
 - a. If water is encountered, the facility may need to be modified. Notification of the municipality is required before any modifications are made.
2. Monitor the SWM facility to ensure that no sediment, grass clippings, leaves, and other similar accumulations occur on top of, and/or within, the SWM Facility.

Inspection Reports

1. Submit the provided Inspection Reports to the Township on the following schedule:
 - a. One year from the date of installation.
 - b. Every 3 years following the initial inspection.
 - c. After any 10-year rain event (i.e. after an rain event that results in over 4 inches of rain in a 24 hour period)
2. Keep a record of all inspections.

I have read and agree to the above Operation and Maintenance Plan. I, as the property owner, am responsible for the proper construction, operation and maintenance, and filing the proper inspection reports for the SWM Facility. If I fail to adhere to any of these tasks, the Township may perform the services required and charge me the appropriate fees. Nonpayment of the fees may result in a lien against my property.

Property Owner Name (Printed)

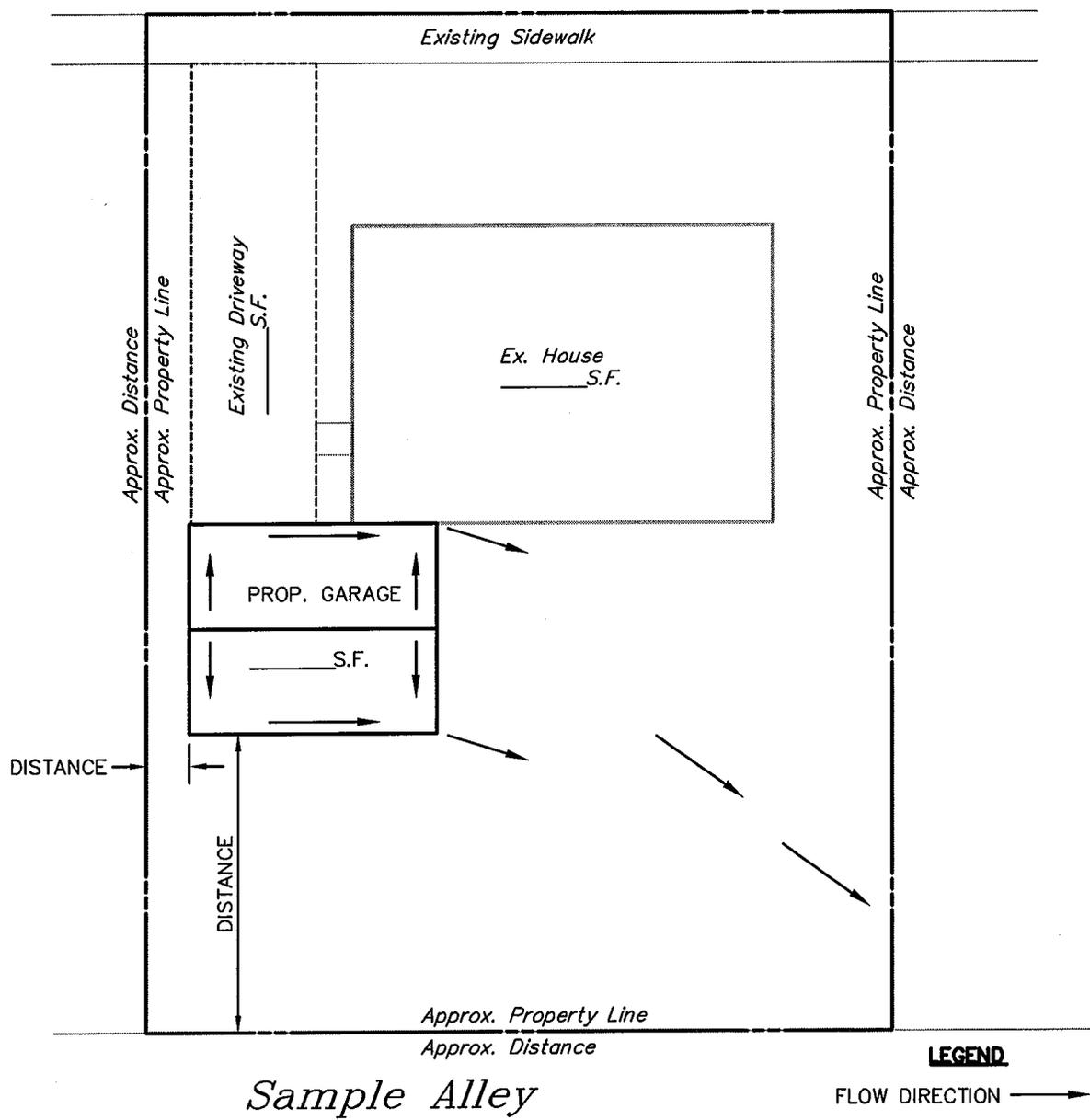
Signature

Date

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NOTE:
THIS PLAN CAN
BE HAND DRAWN.

Main Street



Sample Alley

LEGEND

FLOW DIRECTION →

SAMPLE MUNICIPALITY



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 315 W. JAMES ST., SUITE 102 LANCASTER, PA • PHONE (717) 481-2991 • FAX (717) 481-8690
 WWW.CSDAVIDSON.COM

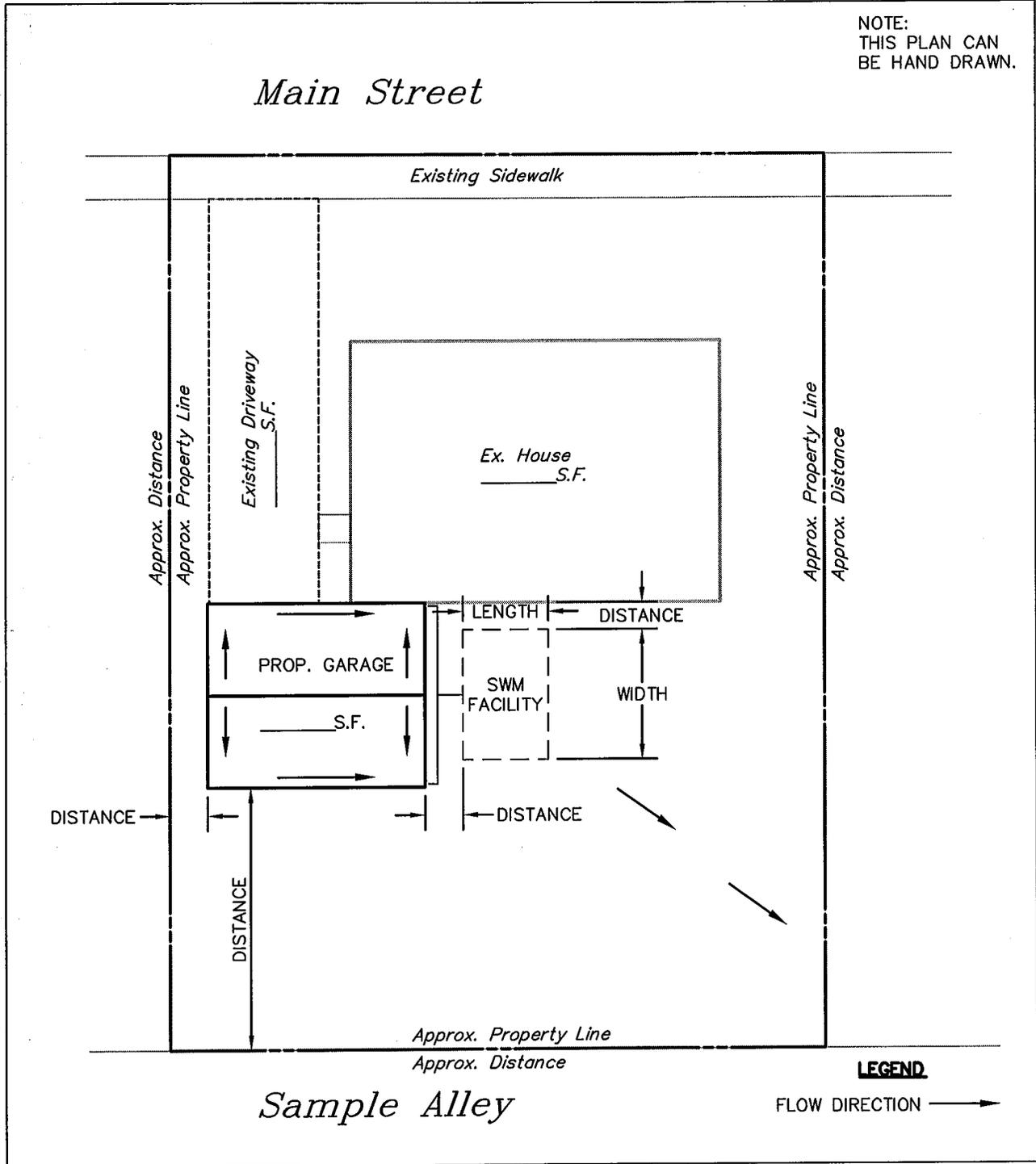
**ATTACHMENT A1
SAMPLE SKETCH/ SITE PLAN**

MUNICIPALITY YORK COUNTY , PENNSYLVANIA

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CHECKED BY	
SCALE	N.T.S.
DATE	OCTOBER 2011
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NOTE:
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SAMPLE MUNICIPALITY



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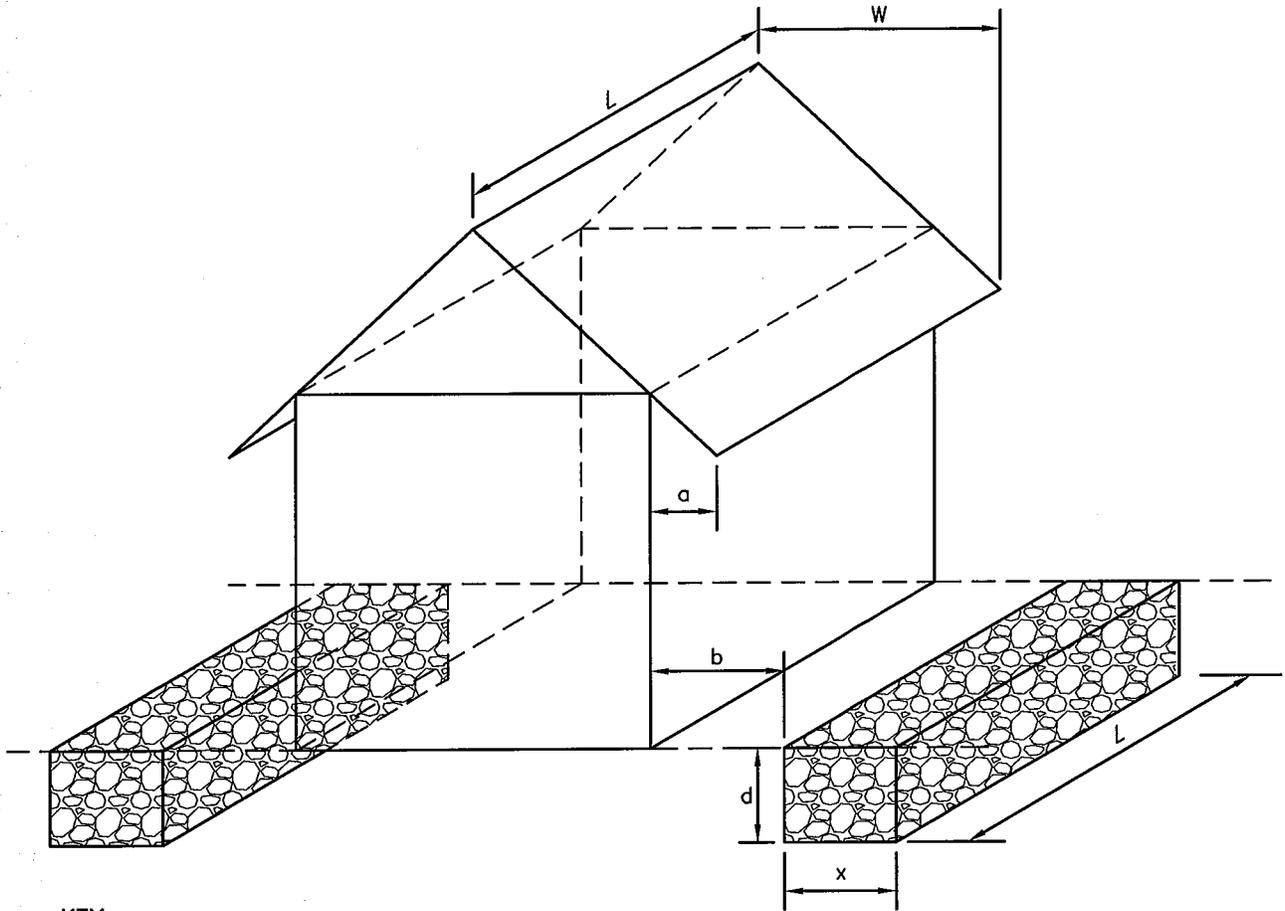
ATTACHMENT A2 SAMPLE SWM SITE PLAN

MUNICIPALITY

YORK COUNTY, PENNSYLVANIA

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KEY

- L = LENGTH OF STRUCTURE ROOF = LENGTH OF SEEPAGE TRENCH (FT.)
- W = WIDTH OF ONE SIDE OF THE ROOF (FT)
- a = EAVE OVERHANG (FT)
- b = DISTANCE FROM STRUCTURE WALL TO SEEPAGE TRENCH (FT)
= a + 1 FT => PLACE EDGE OF TRENCH ONE FOOT PAST EAVES
- x = WIDTH OF SEEPAGE TRENCH (FT)
- d = DEPTH OF SEEPAGE TRENCH (FT)

REQUIRED VOLUME OF TRENCH => $L*W*2/12 = L*x*d*0.4 => X=0.28W$ (d=1.5')

RATIO: 3.6 TO 1
(IMPERVIOUS TO INFILTRATION)

NOTES

- 1.) TRENCH MUST BE PROVIDED ON EACH SIDE OF STRUCTURE.
- 2.) SIDE AND BOTTOM OF TRENCH TO BE WRAPPED IN CLASS 1 GEOTEXTILE.
- 3.) TRENCH TO BE FILLED WITH CLEAN STONE (3/4" MIN. SIZE).
- 4.) TRENCH TO BE CONSTRUCTED AT 0% SLOPE ON UNDISTURBED SOIL.
- 5.) TRENCH TO BE CHECKED REGULARLY TO MAINTAIN PROPER OPERATION.

SAMPLE MUNICIPALITY



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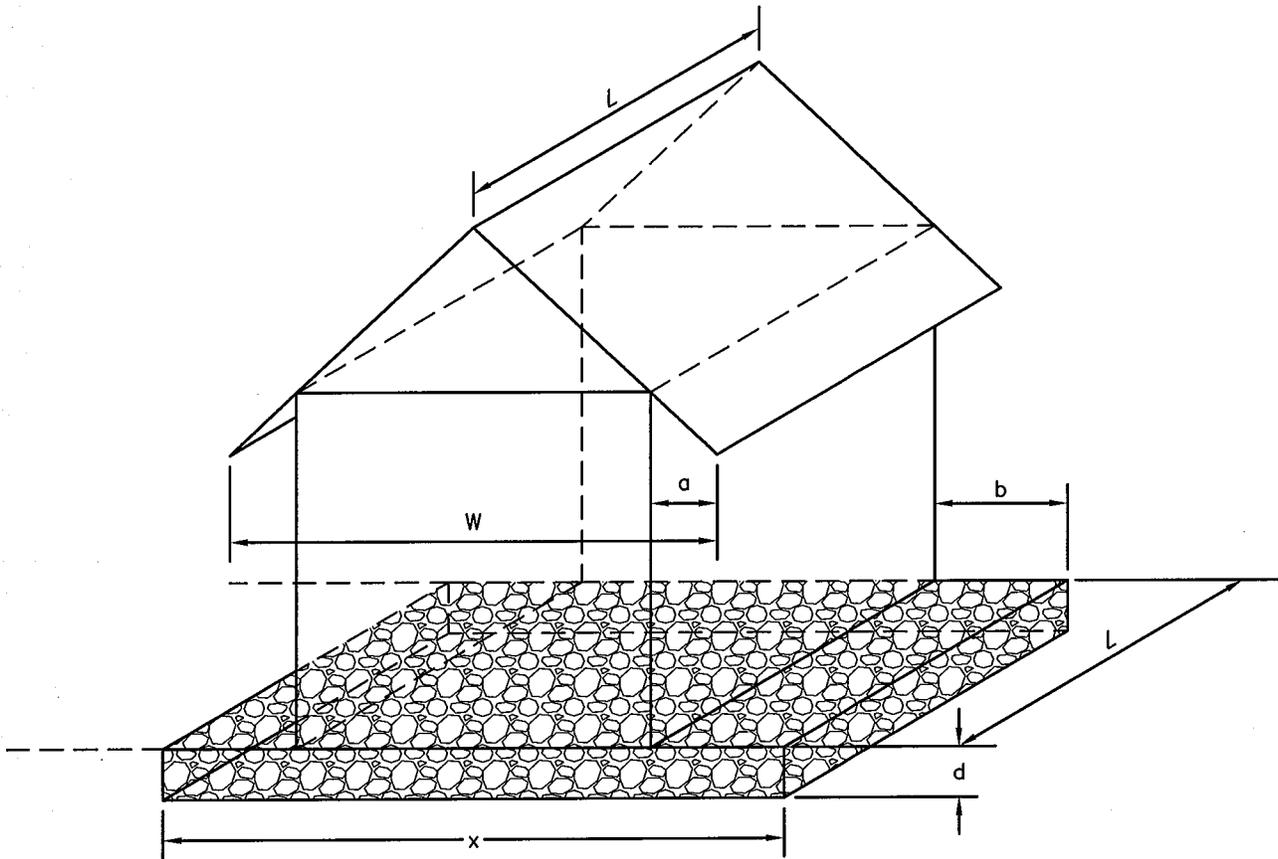
**ATTACHMENT B1
 STORMWATER MANAGEMENT
 SAMPLE
 STRUCTURES WITHOUT GUTTERS A**

MUNICIPALITY

YORK COUNTY, PENNSYLVANIA

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KEY

- L = LENGTH OF STRUCTURE ROOF = LENGTH OF SEEPAGE BED (FT.)
- W = WIDTH OF ENTIRE ROOF (FT)
- a = EAVE OVERHANG (FT)
- b = DISTANCE FROM STRUCTURE WALL TO EDGE OF SEEPAGE BED (FT)
= a + 1 FT => PLACE EDGE OF BED ONE FOOT PAST EAVES
- x = WIDTH OF SEEPAGE BED (FT)
x = W + 2 FT
- d = DEPTH OF SEEPAGE BED (FT)
d = 6" TO 8" (AVERAGE)

NOTES

- 1.) SIDE AND BOTTOM OF BED TO BE WRAPPED IN CLASS 1 GEOTEXTILE.
- 2.) BED TO BE FILLED WITH CLEAN STONE (3/4" MIN. SIZE).
- 3.) BED TO BE CONSTRUCTED AT 0% SLOPE ON UNDISTURBED SOIL.
- 4.) BED TO BE CHECKED REGULARLY TO MAINTAIN PROPER OPERATION.

SAMPLE MUNICIPALITY



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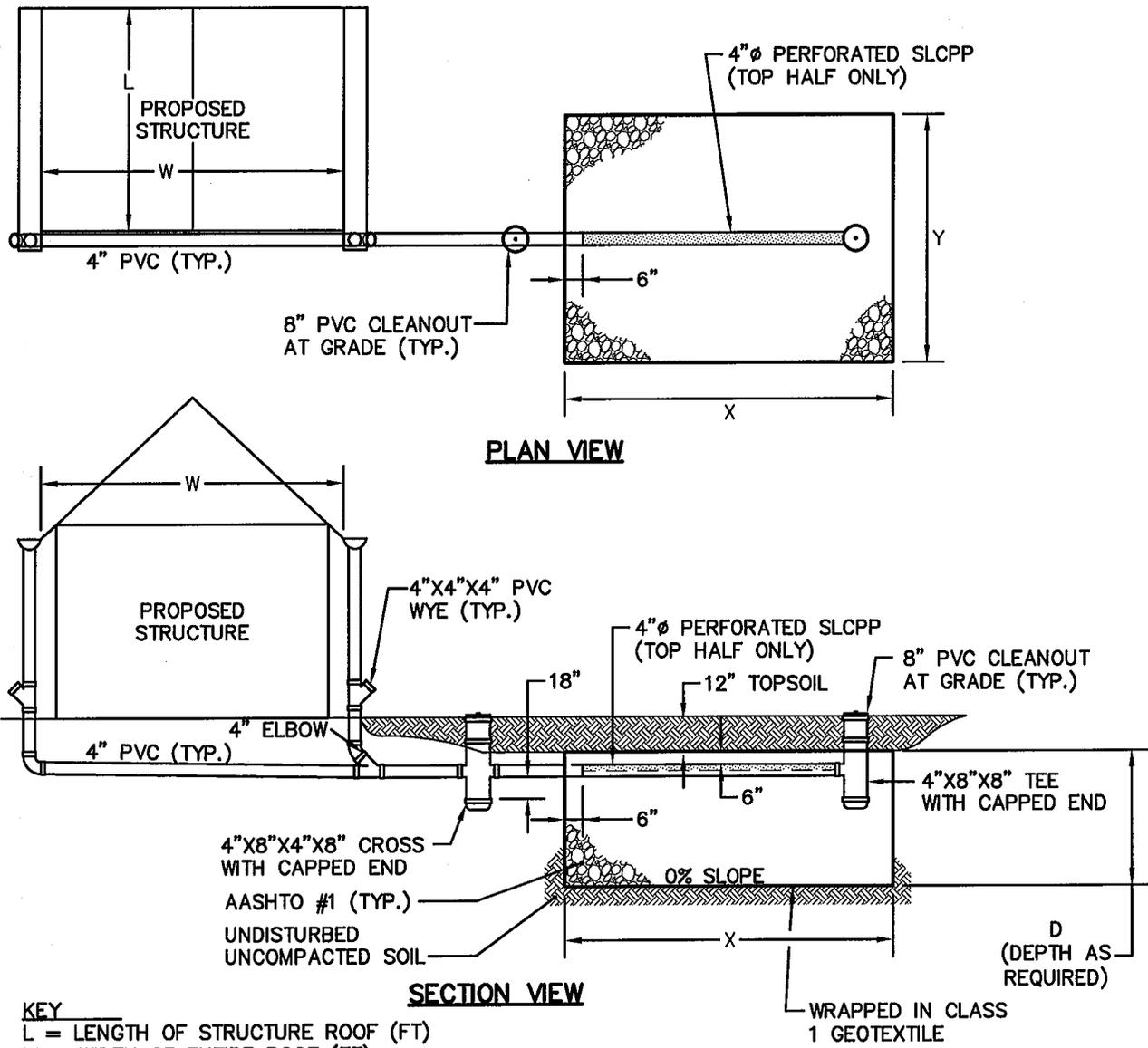
**ATTACHMENT B2
 STORMWATER MANAGEMENT
 SAMPLE
 STRUCTURES WITHOUT GUTTERS B**

MUNICIPALITY

YORK COUNTY , PENNSYLVANIA

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- KEY**
- L = LENGTH OF STRUCTURE ROOF (FT)
 - W = WIDTH OF ENTIRE ROOF (FT)
 - X = WIDTH OF INFILTRATION BED (FT)
 - Y = LENGTH OF INFILTRATION BED (FT)

REQUIRED VOLUME OF BED = $L*W*2/12 = X*Y*D*0.4$ ASSUME: $X=W$
 $D=2'$
 $Y=0.21L$

RATIO: 4.76 TO 1
 (IMPERVIOUS TO INFILTRATION)

- NOTES**
- 1.) BOTTOM OF BED TO BE D+1' BELOW GRADE TO ACCOUNT FOR 1' OF TOPSOIL.
 - 2.) PIPING AND CLEANOUTS TO BE CENTERED WITHIN INFILTRATION BED.
 - 3.) BED TO BE CHECKED REGULARLY TO MAINTAIN PROPER OPERATION.

SAMPLE MUNICIPALITY



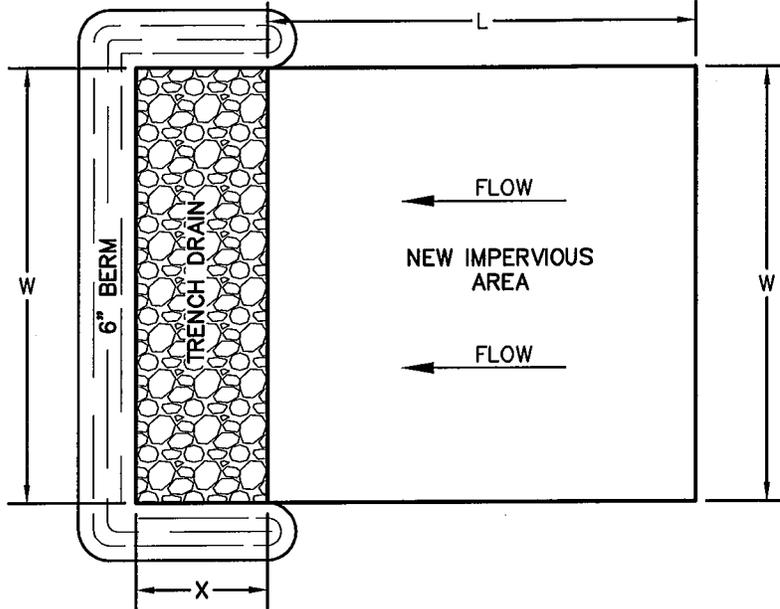
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ATTACHMENT B3
STORMWATER MANAGEMENT
SAMPLE
STRUCTURES WITH GUTTERS

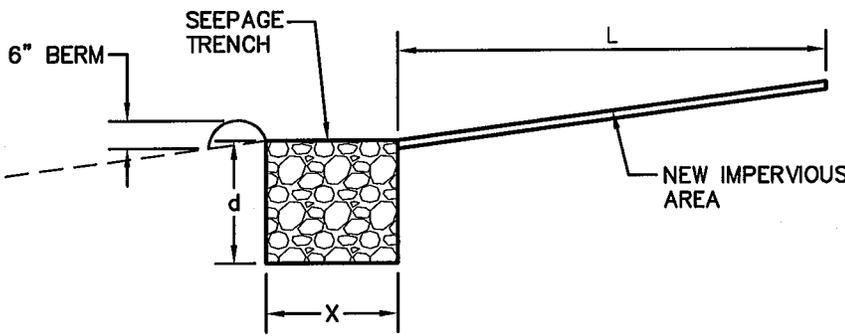
MUNICIPALITY YORK COUNTY, PENNSYLVANIA

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PLAN VIEW



SECTION VIEW

KEY

- L = LENGTH OF NEW IMPERVIOUS SURFACE (FT) - MAY NOT EXCEED 75'
- W = WIDTH OF NEW IMPERVIOUS SURFACE = LENGTH OF SEEPAGE TRENCH (FT)
- X = WIDTH OF SEEPAGE TRENCH (FT)
- d = DEPTH OF SEEPAGE TRENCH (FT)

REQUIRED VOLUME OF TRENCH => $W*L*2/12 = X*W*d*0.4$ => $X=0.28L$ (D=1.5')

NOTES

- 1.) SIDE AND BOTTOM OF TRENCH TO BE WRAPPED IN CLASS 1 GEOTEXTILE.
- 2.) TRENCH TO BE FILLED WITH CLEAN STONE (3/4" MIN. SIZE).
- 3.) TRENCH TO BE CONSTRUCTED AT 0% SLOPE ON UNDISTURBED SOIL.
- 4.) TRENCH TO BE CHECKED REGULARLY TO MAINTAIN PROPER OPERATION.

SAMPLE MUNICIPALITY



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**ATTACHMENT B4
 STORMWATER MANAGEMENT
 SAMPLE
 AT GRADE IMPERVIOUS**

MUNICIPALITY YORK COUNTY , PENNSYLVANIA

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